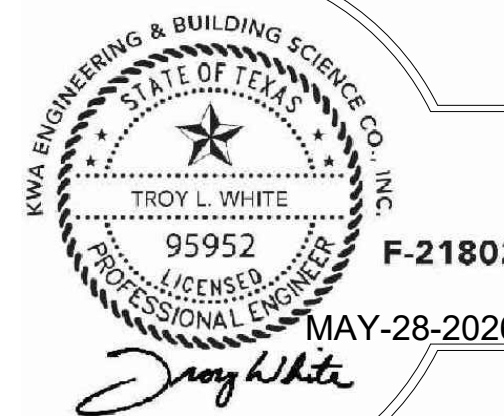


BUILDING ENVELOPE IMPROVEMENTS PROJECT

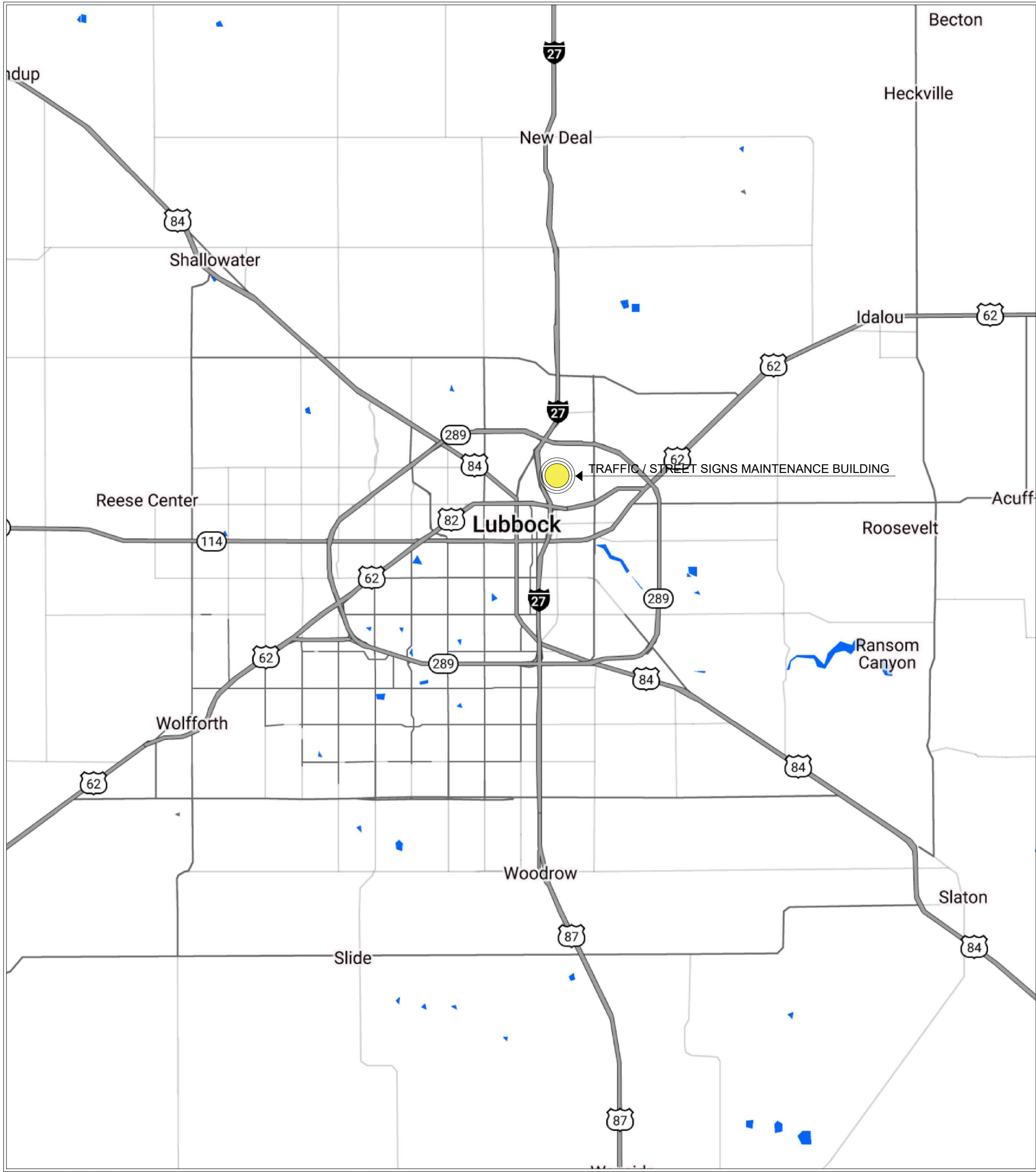
TRAFFIC & STREET SIGNS MAINTENANCE FACILITY LUBBOCK, TEXAS

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F-21802
4203 N. CR 1765 LUBBOCK, TX 79401

LOCATION MAP (NTS)



PROJECT AERIAL (NTS)



BUILDING ENVELOPE IMPROVEMENTS PROJECT
CITY OF LUBBOCK
TRAFFIC & STREET SIGNS MAINTENANCE FACILITY
202 N. ASH AVE, LUBBOCK TEXAS 79401

CODE DATA

JURISDICTION: CITY OF LUBBOCK, LUBBOCK COUNTY, TEXAS

2021 INTERNATIONAL ENERGY CONSERVATION CODE
2021 INTERNATIONAL BUILDING CODE
2021 INTERNATIONAL PLUMBING CODE
2021 INTERNATIONAL MECHANICAL CODE
2020 NATIONAL ELECTRICAL CODE
2021 EXISTING BUILDING CODE

PROJECT SUMMARY

THE PROJECT CONSISTS OF BUILDING ENVELOPE IMPROVEMENTS AS PER THESE DRAWINGS AND SPECIFICATIONS.

BASE BID: REMOVE & REPLACE ROOF
ALTERNATE NO. 1: REMOVE & REPLACE EXTERIOR DOORS & WINDOWS
ALTERNATE NO. 2: REMOVE & REPLACE EXTERIOR CMU MASONRY COATING
ALTERNATE NO. 3: REMOVE & REPLACE METAL R-PANEL ROOF ON SHED (AREA "M1")

BUILDING CLASSIFICATION

CLASSIFICATION OF WORK : BUILDING ENVELOPE IMPROVEMENTS

BUILDING SIZE: 7,116 SQ FT±

THESE RENOVATIONS WILL NOT CHANGE THE OCCUPANCY GROUP OR CONSTRUCTION TYPE WITHIN THE EXISTING BUILDING, OR DO THEY CHANGE THE SQUARE FOOTAGE CONDITIONED NOR OCCUPIED SPACES.

INDEX OF SHEETS

GENERAL	
G1.01	COVER & INDEX
ENGINEERING / ROOFING	
R1.01	SITE PLAN
R1.02	ROOF PLAN
R1.03	EXTERIOR ELEVATIONS & SCHEDULES
R2.01	DETAILS

DATE:	5/28/26
KWA FILE NO.:	10007-25-13
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G1.01



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STATE OF TEXAS

95952

PROFESSIONAL ENGINEER

TROY L. WHITE

KWA ENGINEERING & BUILDING SCIENCE CO., INC.

F-21802

MAY-28-2026

Troy White

KWA
ENGINEERING & BUILDING
SCIENCE COMPANY, INC.
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R1.01

ROOF LEGEND	
	HVAC UNIT
	MECHANICAL VENT CURB
	ROOF HATCH
	ROOF DRAIN
	OVERFLOW ROOF DRAIN
	PLUMBING VENT
	PITCH PAN
	SKY LIGHT
	ANTENNA
	SATELLITE DISH
	HOT STACK OR HEATER VENT
	MECHANICAL EQUIP. ON STANDS
	VENT STACK
	THROUGH WALL SCUPPER
	OVER FLOW SCUPPER
	ABANDONED CURB
	DUCT PENETRATION
	GOOSENECK
	LADDER
	ROOF DRAIN + OVERFLOW DRAIN
	MECHANICAL WALL
	PERIMETER SAFETY GUARDRAIL
	-DS- DOWN SPROUT
	GAS LINE
	CONDUIT LINE
	-RW- RISE WALL
	-ME- METAL EDGE
	-ME/G- METAL EDGE/ GUTTER
	-RME- RAISED METAL EDGE
	-E- EXPANSION JOINT
	-RW/EJ- RISE WALL EXPANSION JOINT
	PARAPET WALL
	NOT IN CONTRACT

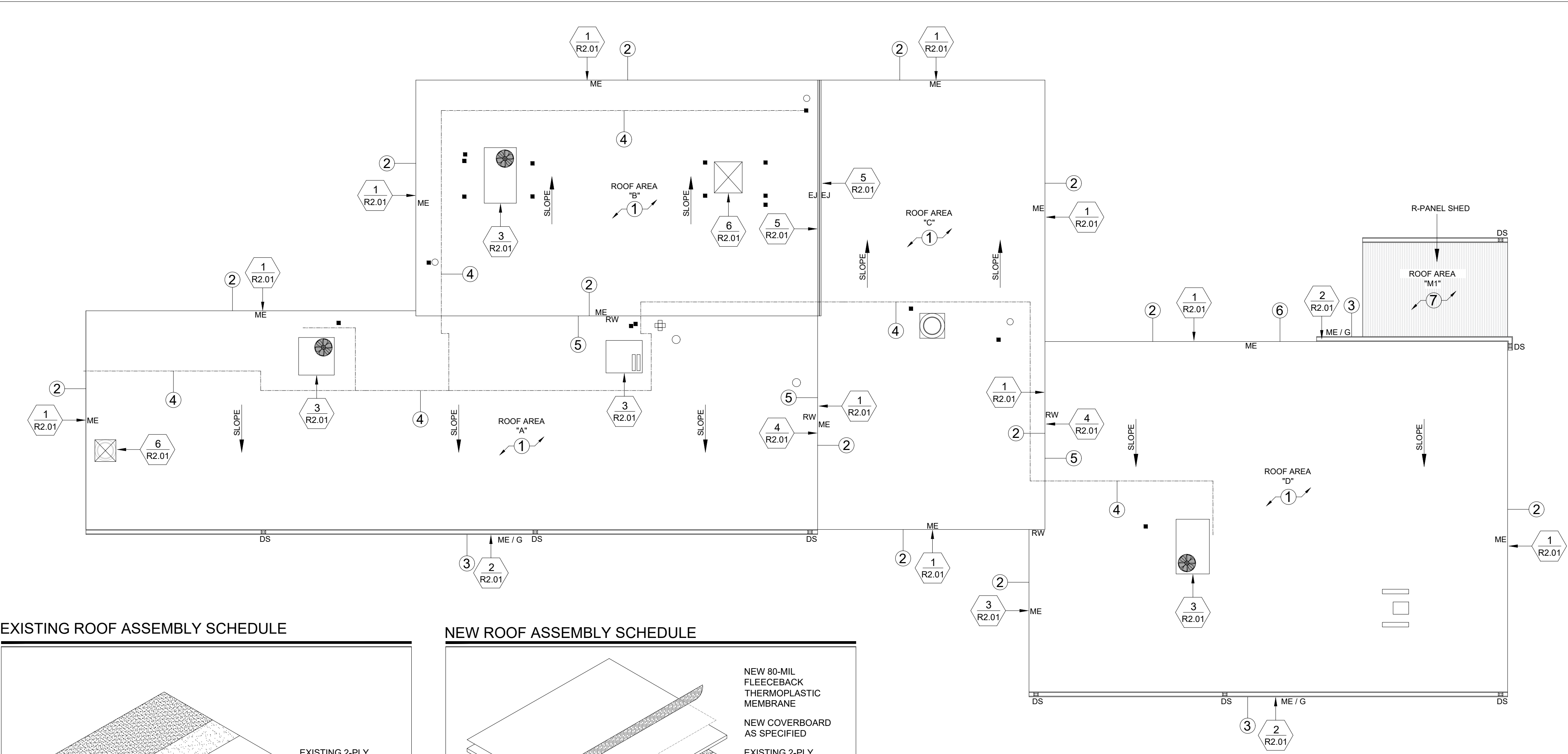
GENERAL NOTES

A	CONTRACTOR SHALL VERIFY ALL DIMENSIONS & EXAMINE ALL EXISTING SITE CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND IMMEDIATELY REPORT ANY QUESTIONABLE OR CONFLICTING CONDITIONS.
B	ALL PROSPECTIVE BIDDERS SHALL VISIT THE PROJECT SITE AND THOROUGHLY FAMILIARIZE THEMSELVES WITH CONDITIONS AND FACTORS THAT MAY AFFECT THEIR BIDS.
C	FIELD MEASUREMENTS ARE REQUIRED FOR BIDDING PURPOSES.
D	IF DISCREPANCIES APPEAR BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE HIGHER QUALITY, QUANTITY, AND PRICE SHALL SUPERSEDE.
E	THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BECOME FAMILIAR WITH THE PROJECT AND THE ON-SITE / OFF-SITE CONDITIONS PRIOR TO BIDDING OR COMMENCING WORK.
F	CONTRACTOR IS RESPONSIBLE FOR THE SAFETY, ACTIONS AND CONDUCT OF HIS EMPLOYEES AND HIS SUBCONTRACTORS EMPLOYEES WHILE IN THE PROJECT AREA, ADJACENT AREAS AND IN THE BUILDING AND ITS VICINITY.
G	PROTECT ALL EXISTING STRUCTURES, UTILITIES, PAVING, SIDEWALKS, LANDSCAPING, ETC. AS REQUIRED; THE CONTRACTOR IS SOLELY RESPONSIBLE TO REPAIR OR REPLACE ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES WITHOUT ADDITIONAL COMPENSATION; PROVIDE PHOTOGRAPHIC DOCUMENTATION OF ANY PRE-EXISTING DAMAGE PRIOR TO COMMENCEMENT OF WORK.
H	PROVIDE ALL NECESSARY SIGNS & BARRICADES FOR PROTECTION OF THE WORK AND FOR PUBLIC SAFETY.
I	CONSTRUCTION DEBRIS FROM THIS PROJECT BECOMES PROPERTY OF THE CONTRACTOR AND MUST BE PROPERLY DISPOSED OFF-SITE, UNLESS NOTED OTHERWISE.
J	PERFORM WORK IN SUCH A MANNER TO MINIMIZE IMPACT TO ADJACENT FACILITIES, STRUCTURES & IMPROVEMENTS.
K	ALL WOOD BLOCKING AT ROOF EDGES ARE TO BE FABRICATED FROM CONT. 2X6 FIRE-RETARDANT TREATED WOOD BOARDS; PROVIDE LARGER 2X FIRE-RETARDANT TREATED WOOD AS REQUIRED PER DIMENSIONED DETAIL OR AS FIELD CONDITIONS DICTATE. ALL COPING TO BE MINIMUM SLOPE TOWARD THE INTERIOR.
L	HEIGHT OF ALL NAILERS SHALL BE FLUSH WITH NEW INSULATION THICKNESS.
M	ALL VERTICAL MEMBRANE FLASHING SHALL BE MECHANICALLY FASTENED AND INSTALLED WITH NEW METAL COUNTER FLASHING UTILIZING A CONTINUOUS CLIP. SLIDE METAL COVER PLATE DOWN OVER VERTICAL CLIP AND SEAL.
N	ALL THROUGH WALL FLASHING SYSTEMS TO ACCOMMODATE 8" MINIMUM FLASHING HEIGHT FROM FINISHED ROOF SURFACE. PROVIDE END DAMS AS CONDITIONS ALLOW. ALL FLASHING TO HAVE 4" LAP MINIMUM AND / OR STEP.
O	ANY CRACKS OR VOIDS IN RISE WALLS ABOVE COUNTER FLASHING SHALL BE REPAIRED WITH COMPATIBLE SEALANT.
P	CRICKETS / SADDLES SHALL BE TWICE THE ADJACENT ROOF SLOPE.
Q	PROVIDE TAPERED CRICKETS ON HIGH SIDE OF CURBED PENETRATIONS AS REQUIRED TO DIRECT DRAINAGE AROUND PENETRATION.
R	ROOF SLOPES SHOWN ARE SCHEMATIC AND INDICATE DESIGN INTENT ONLY. TAPERED INSULATION IS ILLUSTRATED DIAGRAMMATICALLY AND IS NOT TO SCALE. PROVIDE TAPERED INSULATION AS REQUIRED TO ACHIEVE POSITIVE DRAINAGE TO ALL ROOF DRAINS AND OVERFLOW SCUPPERS. VERIFY INSULATION LAYOUT, THICKNESSES, AND SLOPES IN SHOP DRAWINGS PRIOR TO INSTALLATION.
S	CONTRACTOR SHALL VERIFY OPERATIONAL STATUS OF ROOF TOP EQUIPMENT W/ OWNER PRIOR TO COMMENCING WITH THE WORK.
T	ABANDONED EQUIPMENT AND CURBS SHALL BE REMOVED FROM THE BUILDING, AND PROPERLY DISPOSED. REPAIR DECKING AT ABANDONED PENETRATIONS. (NOT SCHEDULED ON DRAWINGS FOR REMOVAL) PER UNIT PRICING, DETAILS AND SPECIFICATIONS.
U	EXISTING GAS, CONDENSATE, ELECTRICAL, HYDRONIC PIPING, ETC. SHALL BE DISCONNECTED, RAISED AND RECONNECTED AS REQUIRED TO ACCOMMODATE NEW ROOF SYSTEM THICKNESS AND MEMBRANE FLASHING HEIGHT REQUIREMENTS. COORDINATE LOCATIONS TO PREVENT CONFLICT WITH MECHANICAL UNIT SERVICE.
V	ALL EQUIPMENT CURBS TO BE RAISED AS NECESSARY TO MAINTAIN 10" MINIMUM HEIGHT ABOVE FINISHED ROOF SURFACE.
W	EXISTING ROOFTOP EQUIPMENT SHALL BE DISCONNECTED RAISED AND RECONNECTED AS REQUIRED TO PROVIDE MEMBRANE BASE FLASHING HEIGHTS SPECIFIED.
X	EXISTING EQUIPMENT SUPPORT CURBS INSTALLED PERPENDICULAR TO ROOF/DRAINAGE SLOPE SHALL BE ROTATED PARALLEL TO THE ROOF SLOPE TO PROVIDE POSITIVE DRAINAGE DISCONNECT. MODIFY / REROUTE PIPING / CONDUIT AS REQUIRE TO RELOCATE UNITS AND ELECTRICAL DISCONNECT BOXES.
Y	ALL PITCH PANS SHALL BE SOLDERED AND RECEIVE EITHER MECHANICALLY ATTACHED GOOSENECK OR METAL BONNETS. METAL BONNETS SHALL BE SECURED WITH CLAMPING RING AND SEALANT. SPECIAL CARE GIVEN TO WASH ALL METAL PRIOR TO INSTALLATION.
Z	ALL INFIELD EXPANSION JOINTS SHALL HAVE LOW SLOPED STANDING SEAM JOINTS AND SHALL BE CHAMFERED AT TERMINATION AT ROOF EDGE TO MEET PROFILE OF PERIMETER.
AA	PRIME AND PAINT GAS LINES, COLOR AS SELECTED BY OWNER.
BB	REMOVE AND REINSTALL EXISTING BUILDING LIGHTNING PROTECTION AS REQUIRED; ENSURE A FULLY FUNCTIONING SYSTEM.

ROOF PLAN NOTES

KEYED NOTES DESIGNATED BY AND

①	PROVIDE ROOF OVERLAY ROOFING SYSTEM
②	PROVIDE PRE-FINISHED METAL EDGE
③	PROVIDE PRE-FINISHED METAL GUTTER AND DOWNSPOUT
④	PROVIDE NEW ROLLER SUPPORTS FOR EXISTING PIPING ABOVE ROOF, REFER TO 7/R2.01
⑤	PROVIDE ROOF TO RISE WALL EXPANSION JOINT FLASHING AS DETAILED
⑥	RELOCATE OR OFFSET EXISTING ELECTRICAL SERVICE AWAY FROM BUILDING FASCIA
⑦	REMOVE AND REPLACE EXISTING R PANEL ROOFING SYSTEM ON SHED



ROOF PLAN - AREAS "A", "B", "C" & "D"

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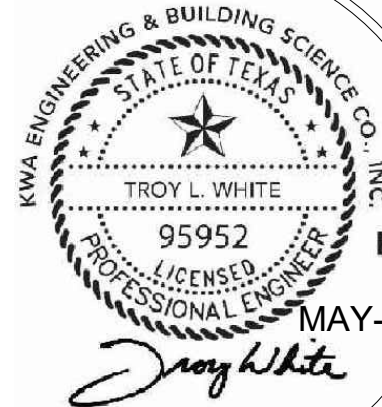
EXISTING ROOF ASSEMBLY SCHEDULE

	EXISTING 2-PLY MODIFIED BITUMEN EXISTING TAPERED PERLITE INSULATION EXISTING 2" POLYISOCYANURATE INSULATION EXISTING METAL DECK
AREAS: A & D	
	EXISTING 2-PLY MODIFIED BITUMEN EXISTING 3/4" PERLITE INSULATION EXISTING 2" POLYISOCYANURATE INSULATION EXISTING METAL DECK
AREA: B	
	EXISTING 2-PLY MODIFIED BITUMEN EXISTING 3/4" PERLITE INSULATION EXISTING METAL DECK
AREA: C	

NEW ROOF ASSEMBLY SCHEDULE

	NEW 80-MIL FLEECEBACK THERMOPLASTIC MEMBRANE NEW COVERBOARD AS SPECIFIED EXISTING 2-PLY MODIFIED BITUMEN EXISTING TAPERED PERLITE INSULATION EXISTING 2" POLYISOCYANURATE INSULATION EXISTING METAL DECK
AREAS: A & D	
	NEW 80-MIL FLEECEBACK THERMOPLASTIC MEMBRANE NEW COVERBOARD AS SPECIFIED EXISTING 2-PLY MODIFIED BITUMEN EXISTING 3/4" PERLITE INSULATION EXISTING 2" POLYISOCYANURATE INSULATION EXISTING METAL DECK
AREA: B	
	NEW 80-MIL FLEECEBACK THERMOPLASTIC MEMBRANE NEW COVERBOARD AS SPECIFIED EXISTING 2-PLY MODIFIED BITUMEN EXISTING 3/4" PERLITE INSULATION EXISTING METAL DECK
AREA: C	

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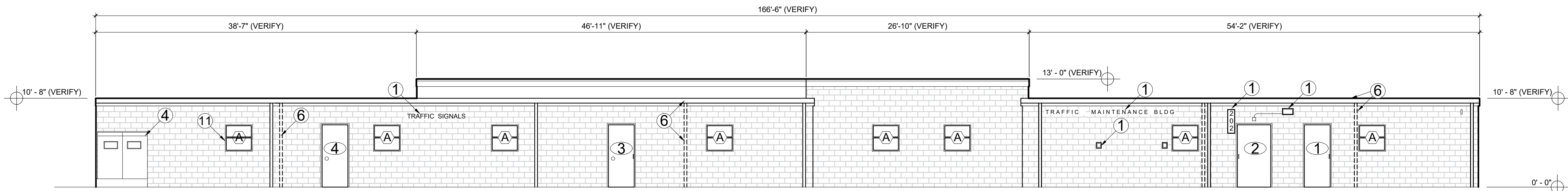
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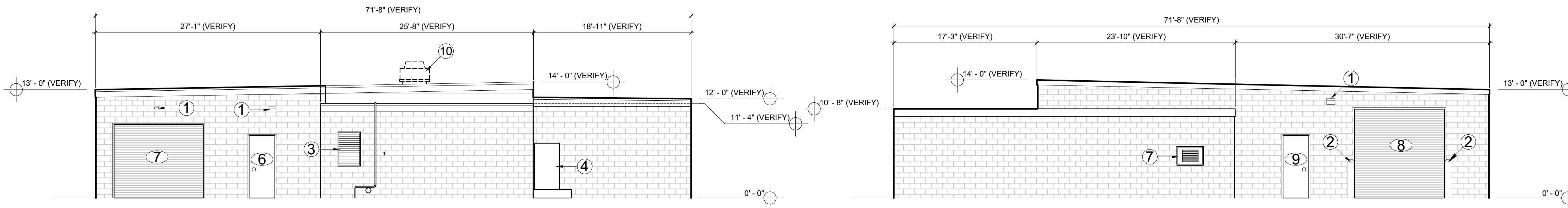
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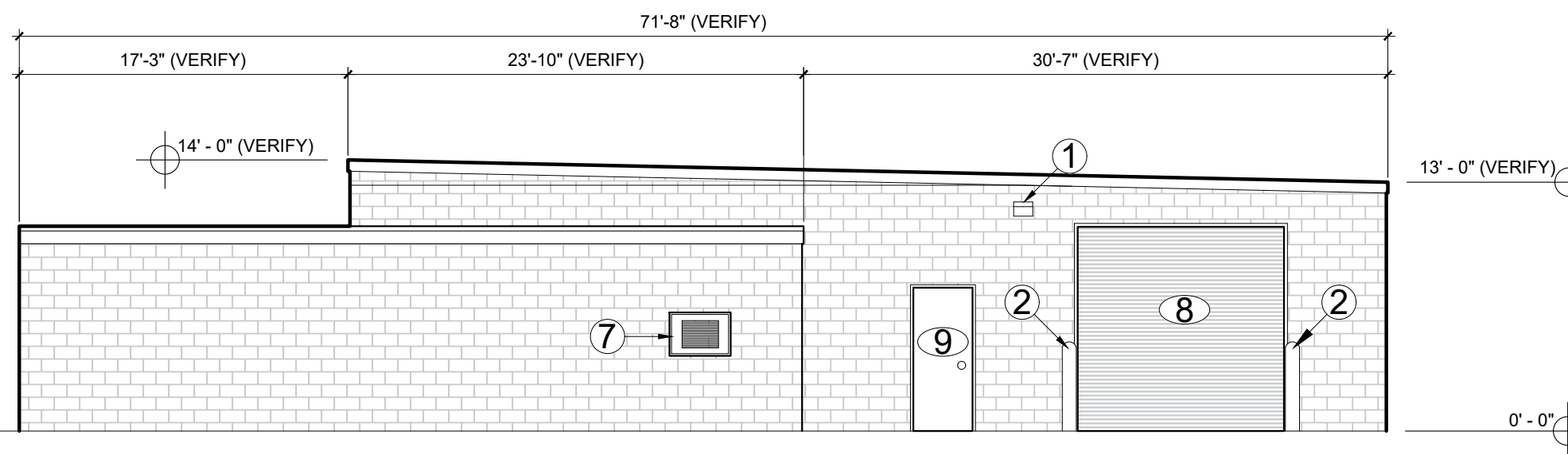
SOUTH ELEVATION

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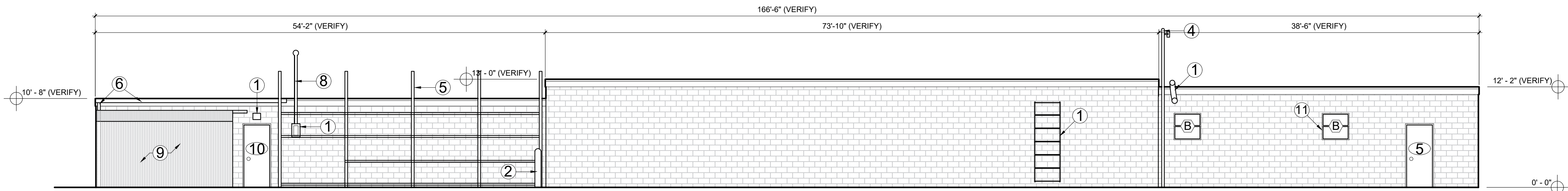
WEST ELEVATION

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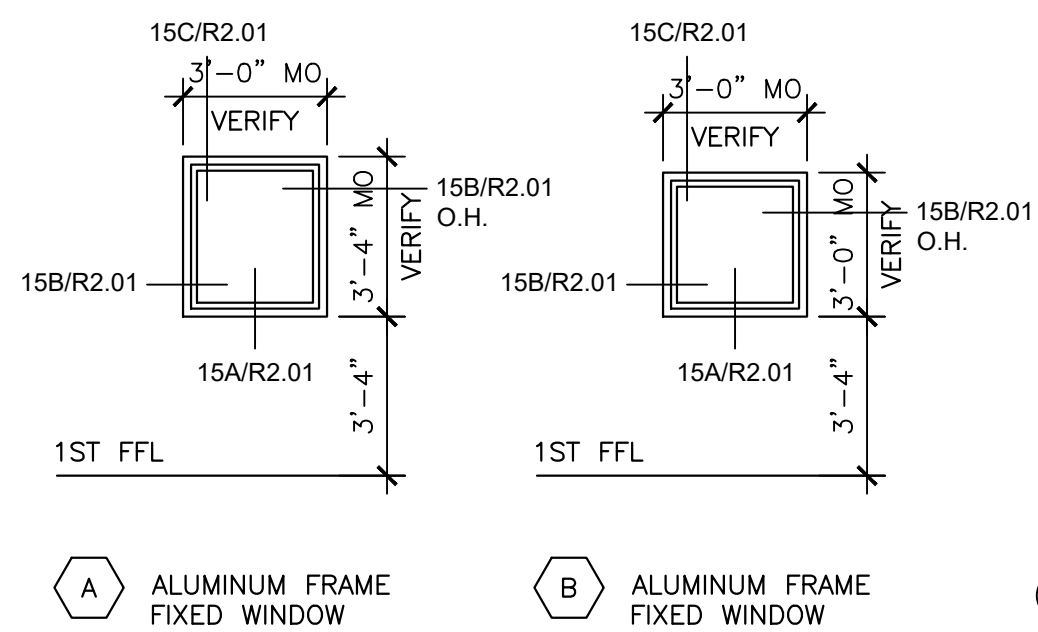
EAST ELEVATION

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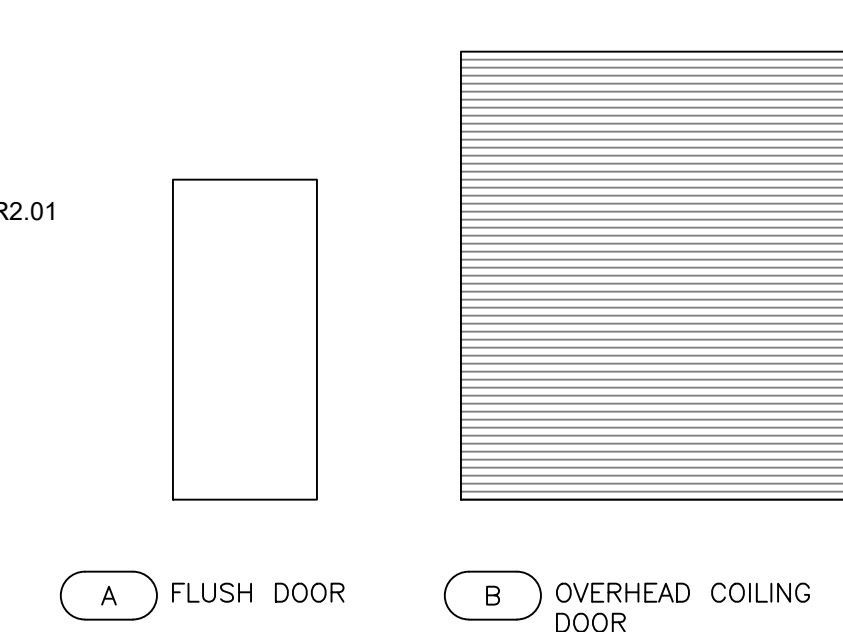


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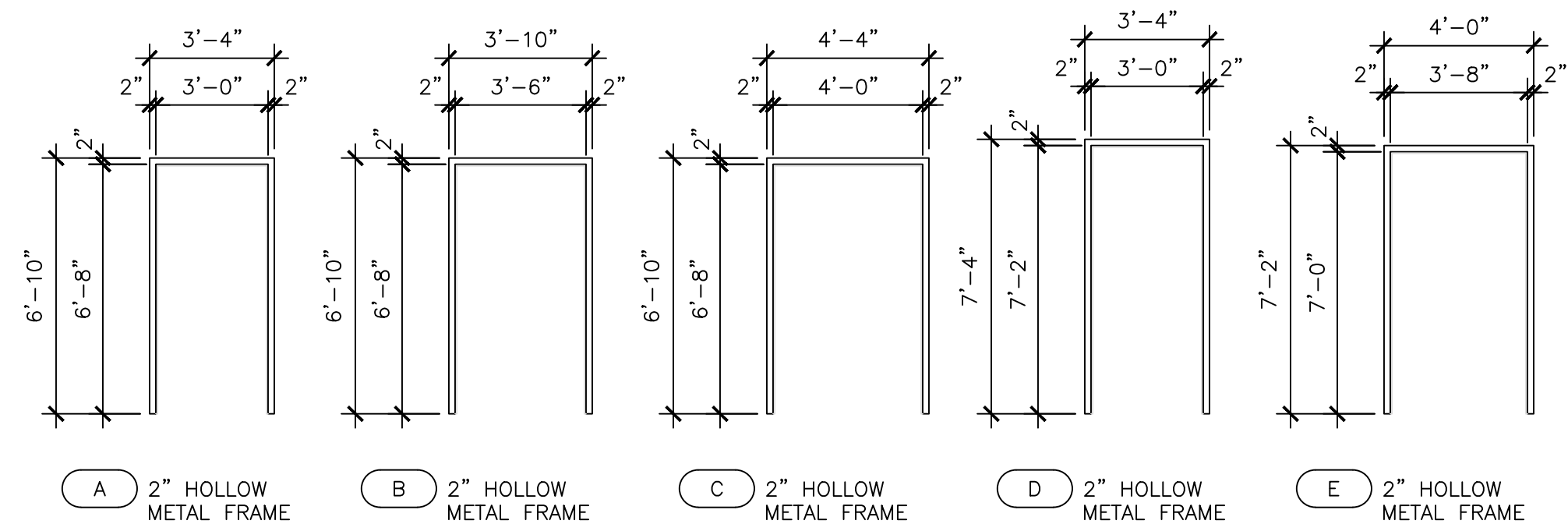
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WINDOW FRAME ELEVATIONS



DOOR TYPE ELEVATIONS



DOOR FRAME TYPE ELEVATIONS

DOOR SCHEDULE

DOOR				FRAME			DETAILS ⁷			HARDWARE ⁸ SET	REMARKS ⁹
MARK	SIZE ¹	TYPE ²	CONST ³	SIZE ⁴	TYPE ⁵	CONST ⁶	HEAD	JAMB	SILL		
1	36x80	A	HM	5 3/4"	A	HM	12/R2.01	13/R2.01	14/R2.01	1	PAINT FRAME
2	48x80	A	HM	5 3/4"	C	HM	12/R2.01	13/R2.01	14/R2.01	1	PAINT FRAME
3	36x80	A	HM	5 3/4"	A	HM	12/R2.01	13/R2.01	14/R2.01	1	PAINT FRAME
4	42x80	A	HM	5 3/4"	B	HM	12/R2.01	13/R2.01	14/R2.01	1	PAINT FRAME
5	36x80	A	HM	5 3/4"	A	HM	12/R2.01	13/R2.01	14/R2.01	1	PAINT FRAME
6	44x84	A	HM	5 3/4"	E	HM	12/R2.01	13/R2.01	14/R2.01	1	PAINT FRAME
7	96x112	B	ST	—	—	ST	—	—	—	BY MFG	PAINT FRAME
8	120x114	B	ST	—	—	ST	—	—	—	BY MFG	PAINT FRAME
9	36x86	A	HM	5 3/4"	D	HM	12/R2.01	13/R2.01	14/R2.01	1	PAINT FRAME
10	36x80	A	HM	5 3/4"	A	HM	12/R2.01	13/R2.01	14/R2.01	1	PAINT FRAME

NOTES:

- 1 DOOR SIZE: (WxH) DOOR SIZE INDICATED IS NOMINAL. REDUCTION SHALL BE MADE FOR THRESHOLD & EDGE CLEARANCES. ALL DOORS ARE 1 3/4" THICK UNLESS INDICATED OTHERWISE.
- 2 DOOR TYPE: REFER TO DOOR TYPE ELEVATIONS
- 3 DOOR CONSTRUCTION:
 - AL — ALUMINUM
 - HM — HOLLOW METAL DOOR
 - ST — STEEL DOOR
 - VNLY — VINYL COVERED DOOR
 - HOPF — HOLLOW CORE WOOD DR, PAINT FINISH
 - HCTF — HOLLOW CORE WOOD DR, TRANSPARENT FINISH
 - SLCP — SOLID CORE WOOD DR, LAMINATED PLASTIC VENEER
 - SCPF — SOLID CORE WOOD DR, PAINT FINISH
 - SCTF — SOLID CORE WOOD DR, TRANSPARENT FINISH
- 4 FRAME SIZE: SIZE INDICATED IS OVERALL FRAME DEPTH, REFER TO DETAILS FOR PROFILE

- 5 FRAME TYPE: REFER TO DOOR FRAME TYPE ELEVATIONS
- 6 FRAME CONST:
 - AL — ALUMINUM
 - HM — HOLLOW METAL
 - ST — STEEL
 - WDPF — WOOD, PAINT FINISH
 - WDTF — WOOD, TRANSPARENT FINISH
- 7 DETAILS: NUMBERS SHOWN ARE DETAIL & SHEET NUMBER
EX.: 4/R2.01 = DETAIL 4, SHEET R2.01
- 8 HARDWARE SET: REFER TO DOOR HARDWARE SCHEDULE
- 9 REMARKS:
 - G1 — 1/4" CLEAR, TEMPERED GLASS
 - G2 — 1/4" WIRED GLASS
 - U.L. RATING:
 - H1 — 20 MINUTE DOOR AND FRAME
 - H2 — 1 HOUR DOOR AND FRAME
 - H3 — 1 1/2 HOUR DOOR AND FRAME
 - H4 — 3 HOUR DOOR AND FRAME

GENERAL NOTES

A	VERIFY ALL DIMENSIONS & EXAMINE ALL EXISTING SITE CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND IMMEDIATELY REPORT ANY QUESTIONABLE OR CONFLICTING CONDITIONS TO THE ARCHITECT AT 806-775-2368
B	THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES & SAFETY PRECAUTION PROGRAMS RELATING IN ANY WAY TO THE CONDITIONS OF THE PREMISES
C	PROTECT ALL EXISTING STRUCTURES, UTILITIES, PAVING, SIDEWALKS, LANDSCAPING, ETC. AS REQUIRED; THE CONTRACTOR IS SOLELY RESPONSIBLE TO REPAIR OR REPLACE ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES WITHOUT ADDITIONAL COMPENSATION; PROVIDE PHOTOGRAPHIC DOCUMENTATION OF ANY PRE-EXISTING DAMAGE PRIOR TO COMMENCEMENT OF WORK
D	PROVIDE ALL NECESSARY SIGNS & BARRICADES FOR PROTECTION OF THE WORK AND FOR PUBLIC SAFETY
E	PROTECT ALL EXISTING INTERIOR FINISHES, EQUIPMENT, CONSTRUCTION, ETC. TO REMAIN
F	CONSTRUCTION DEBRIS FROM THIS PROJECT BECOMES PROPERTY OF THE CONTRACTOR AND MUST BE PROPERLY DISPOSED OFF-SITE, UNLESS NOTED OTHERWISE
G	PERFORM WORK IN SUCH A MANNER TO MINIMIZE IMPACT TO ADJACENT FACILITIES, STRUCTURES & IMPROVEMENTS
H	REMOVE ALL ITEMS SHOWN DASHED, INCLUDING BUT NOT LIMITED TO, PLUMBING, MECHANICAL & ELECTRICAL ITEMS; RELOCATE ANY ITEMS SPECIFICALLY NOTED; RETURN SALVAGEABLE ITEMS TO OWNER
I	PATCH/REPAIR ALL EXISTING SUBSTRATES AT DEMOLITION ACTIVITY AS REQUIRED, TO RECEIVE NEW FINISHES

ELEVATION NOTES

KEYED NOTES DESIGNATED BY ○ AND ○ →

①	EXISTING BUILDING SIGNAGE, LIGHT FIXTURES, AND ELECTRICAL BOXES TO REMAIN, PROTECT AS REQUIRED
②	EXISTING STEEL BOLLARD TO REMAIN, PAINT
③	EXISTING INTAKE LOUVER TO REMAIN, PAINT
④	EXISTING EQUIPMENT TO REMAIN
⑤	REMOVE & REPLACE EXISTING STORAGE RACK, BY OWNER
⑥	REMOVE & REPLACE EXISTING GUTTERS, DOWNSPOUTS AND METAL EDGE
⑦	REMOVE & REPLACE EXISTING HVAC EVAPORATIVE UNIT HOUSING WITH PRE-FINISHED, INSULATED METAL, RE-INSTALL UNIT
⑧	REWORK EXISTING BUILDING ELECTRICAL SERVICE TO AVOID CONFLICT WITH ROOF METAL EDGE
⑨	EXISTING SHED TO REMAIN, PAINT
⑩	REMOVE EXISTING ROOF TOP EXHAUST FAN, CAP CURB WEATHERTIGHT
⑪	WINDOW AND DOOR DEMOLITION, ASBESTOS ABATEMENT AND TEMPORARY CONSTRUCTION UNDER SEPARATE CONTRACT, TYPICAL; COORDINATE NEW WINDOW AND DOOR INSTALLATION WITH ABATEMENT CONTRACTOR.

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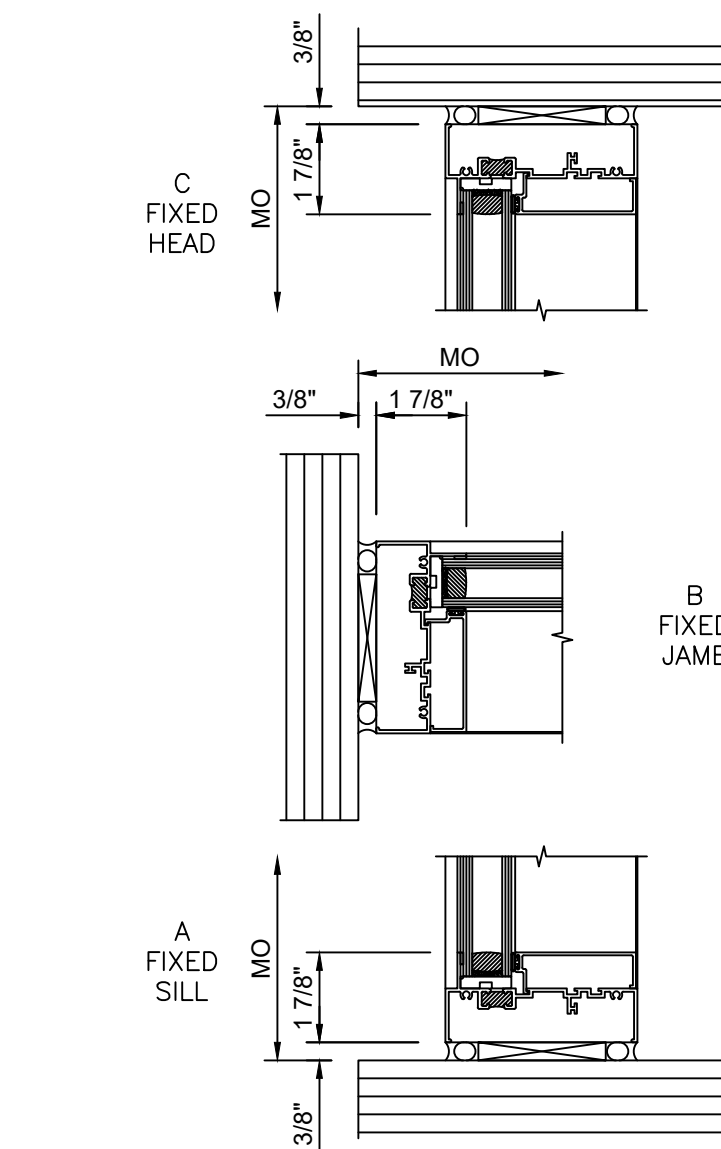
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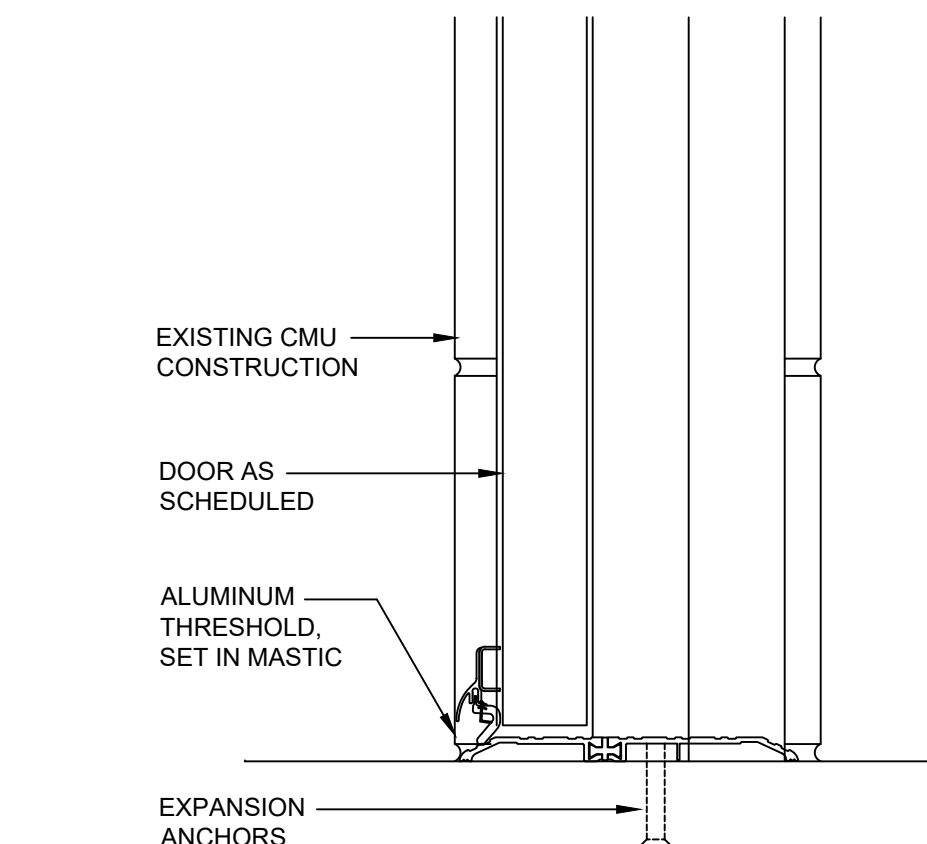
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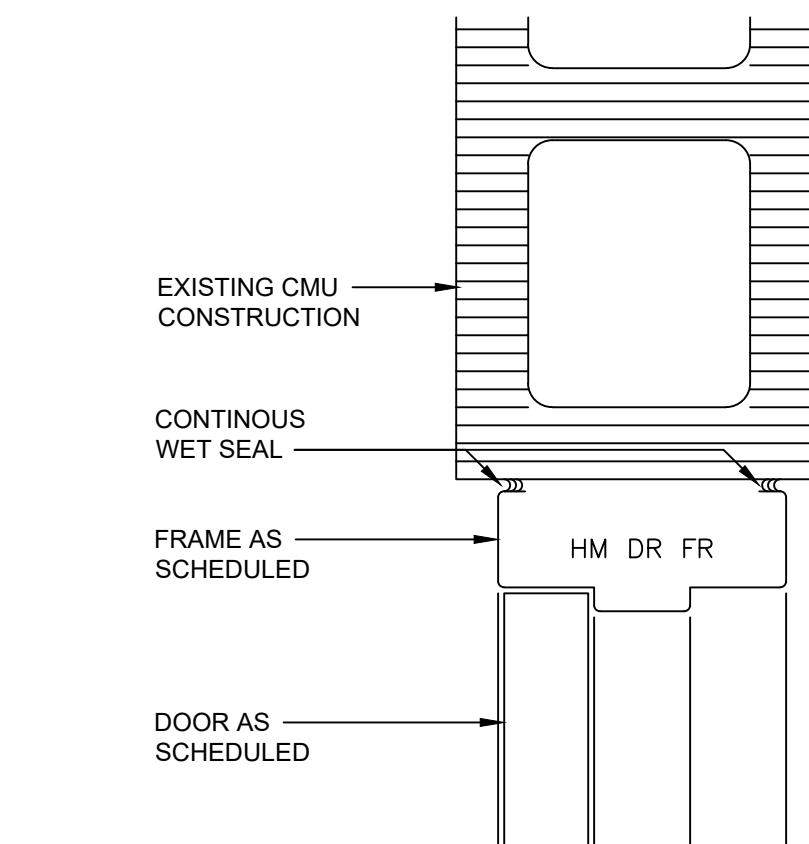
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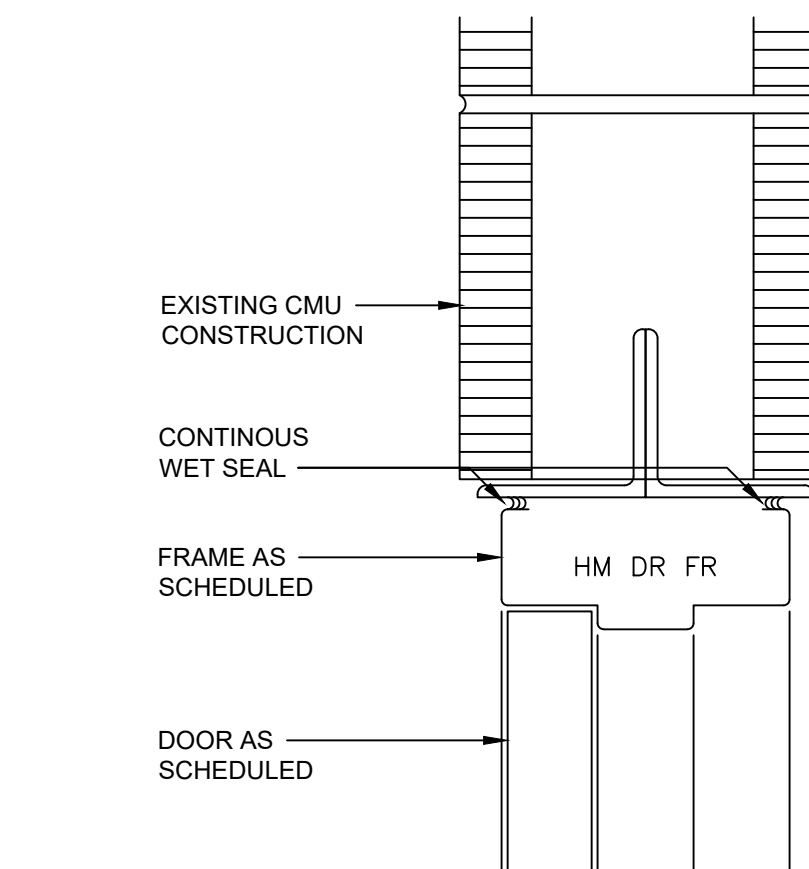
15 WINDOW DETAILS
NOT TO SCALE



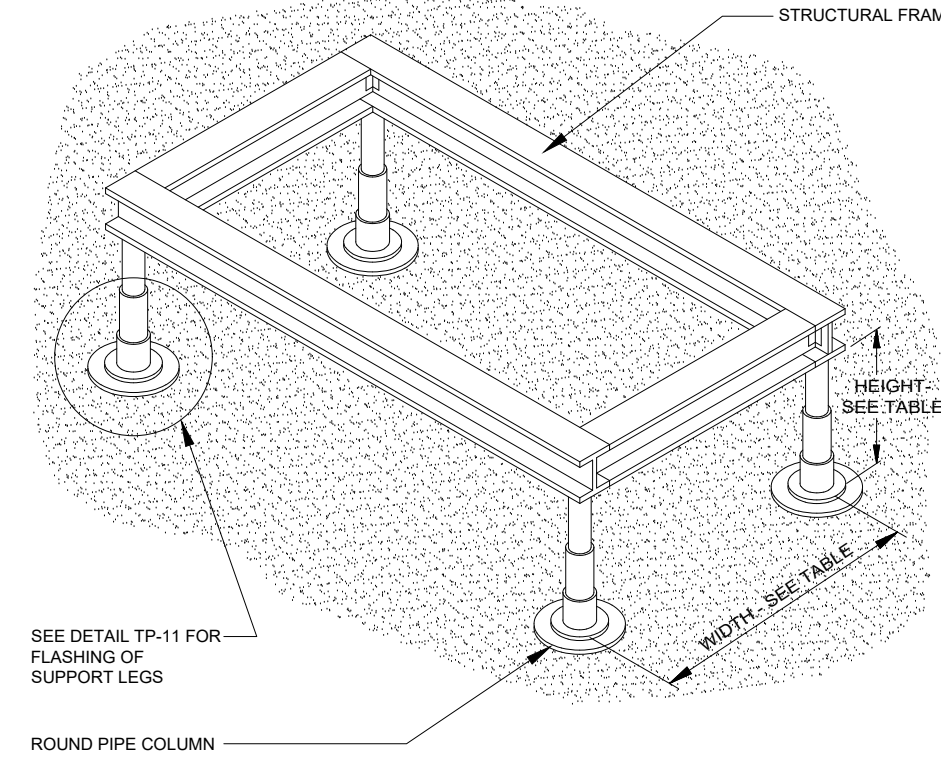
14 SILL DETAIL
NOT TO SCALE



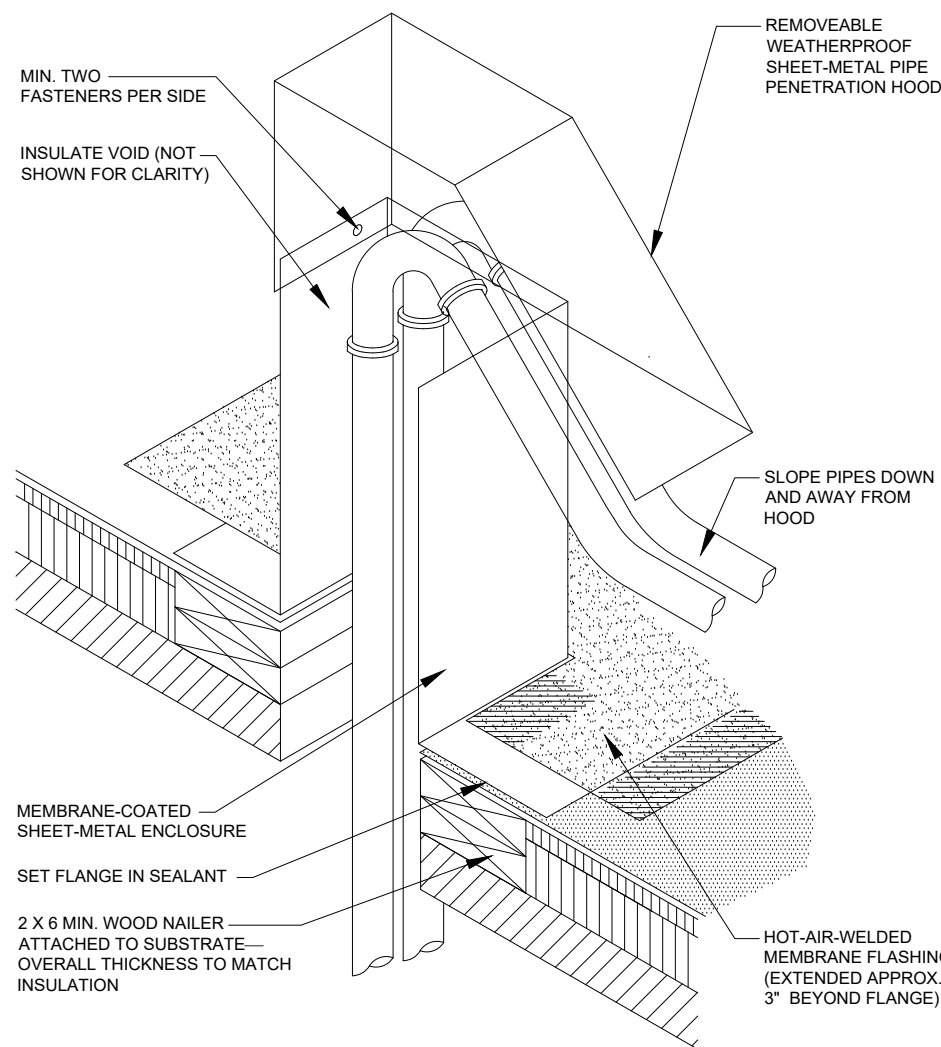
13 JAMB DETAIL
NOT TO SCALE



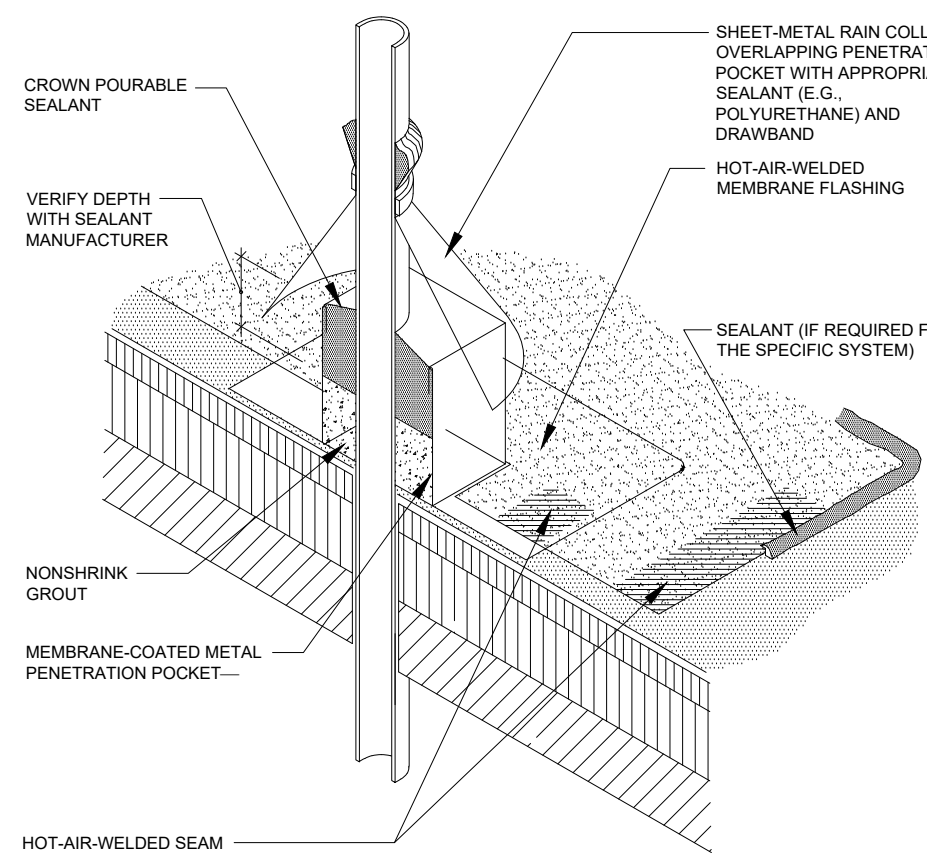
12 HEAD DETAIL
NOT TO SCALE



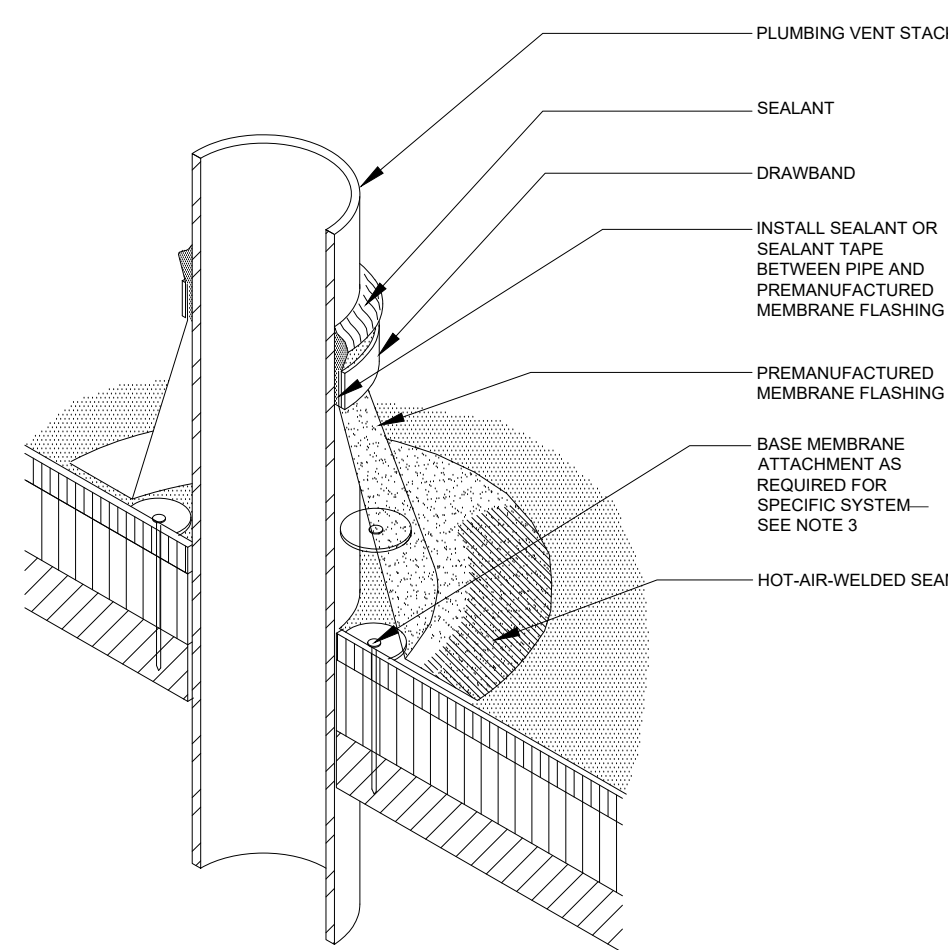
11 EQUIPMENT SUPPORT STAND
NOT TO SCALE



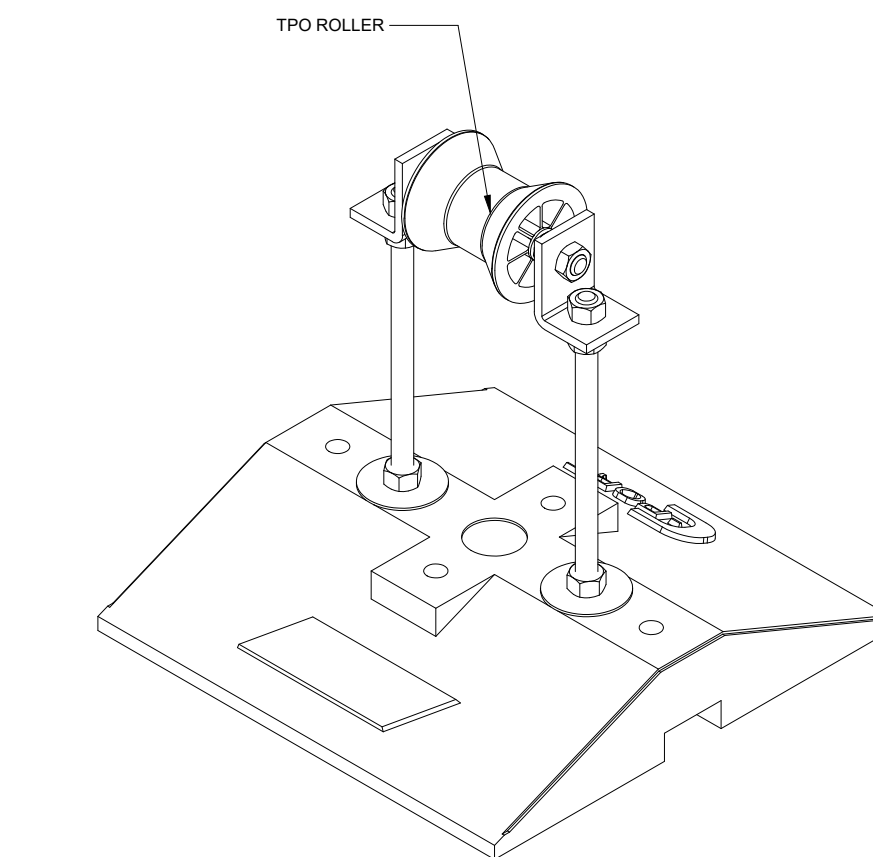
10 BASE FLASHING AT MEMBRANE-COATED SHEET-METAL HOOD FOR PIPING THROUGH ROOF DECK
NOT TO SCALE



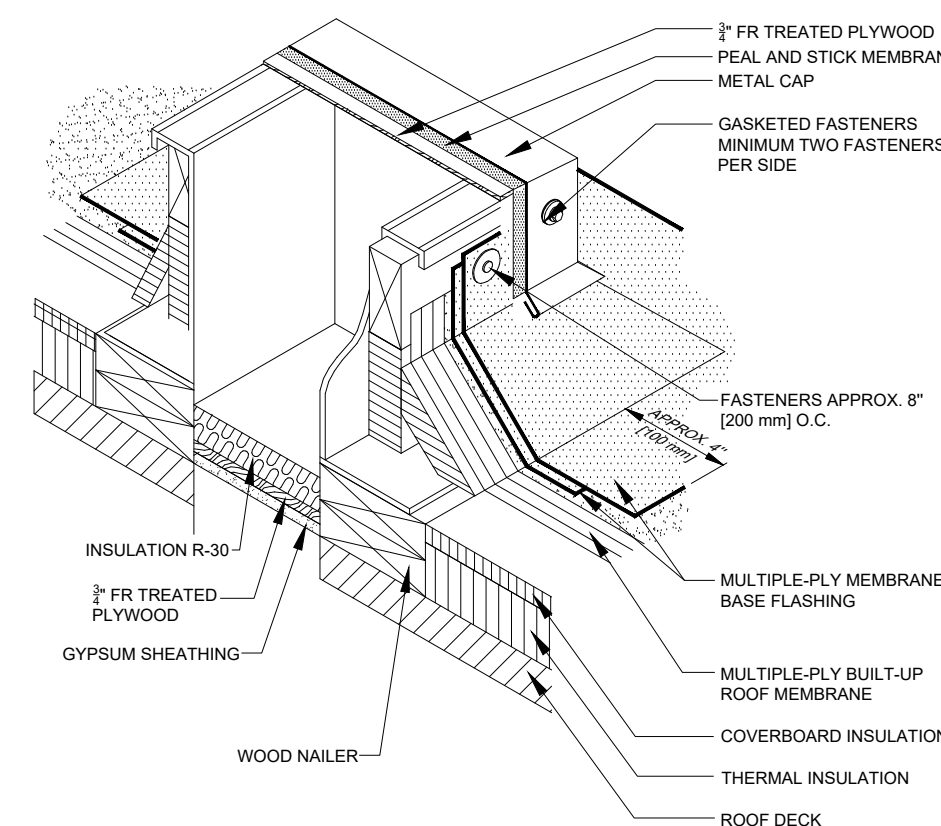
9 MEMBRANE-COATED METAL PENETRATION POCKET - SINGLE PENETRATION
NOT TO SCALE



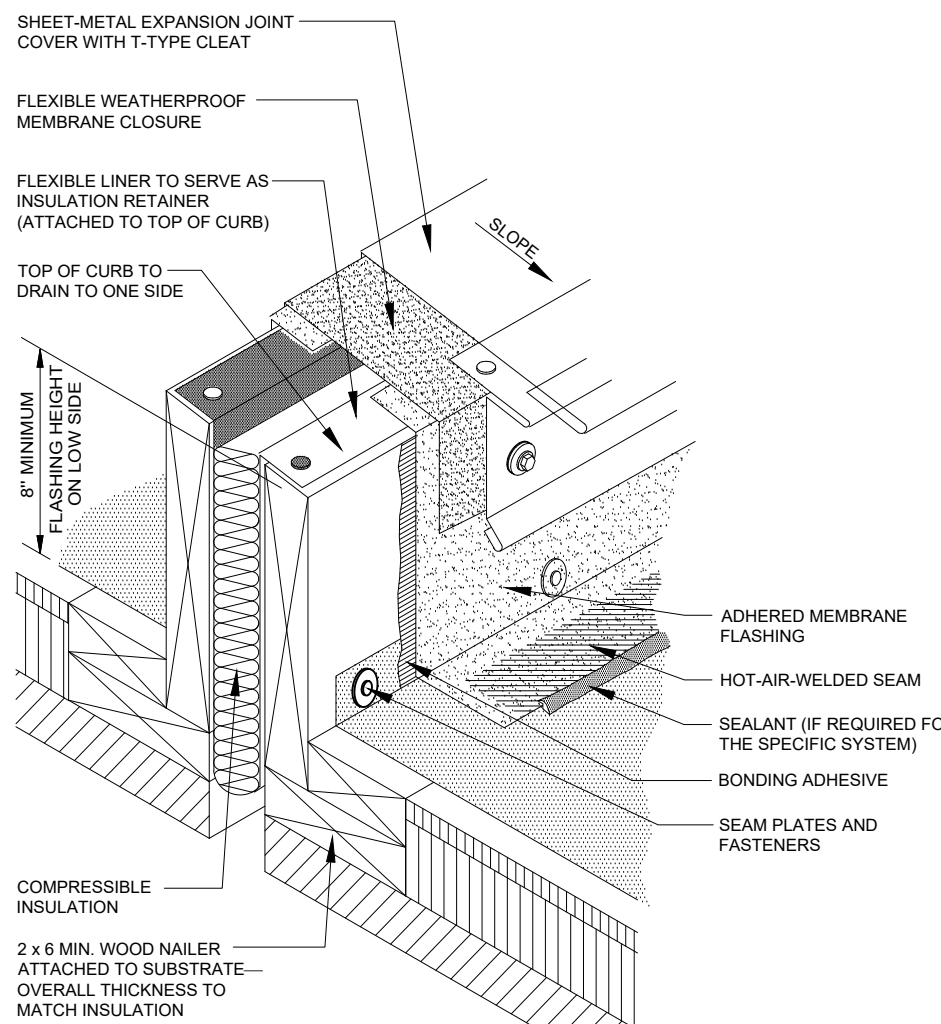
8 PLUMBING VENT [PREMANUFACTURED BOOT]
NOT TO SCALE



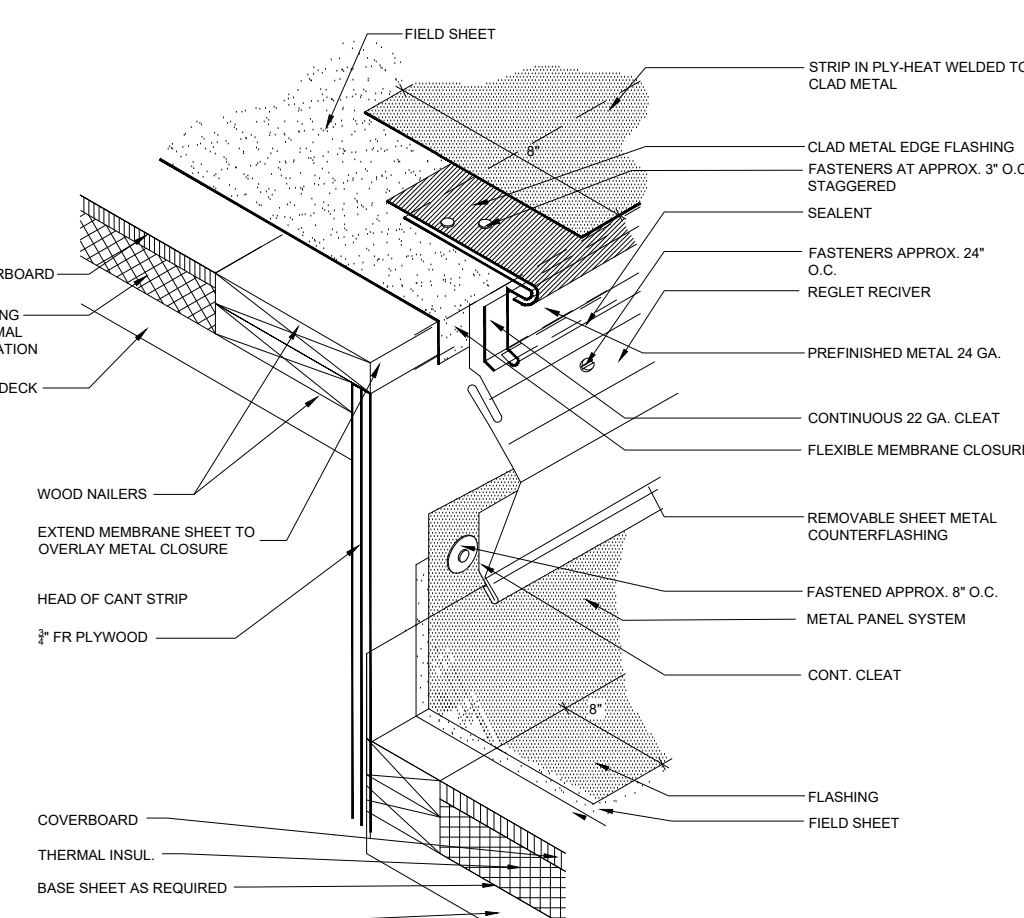
7 PIPE SUPPORT
NOT TO SCALE



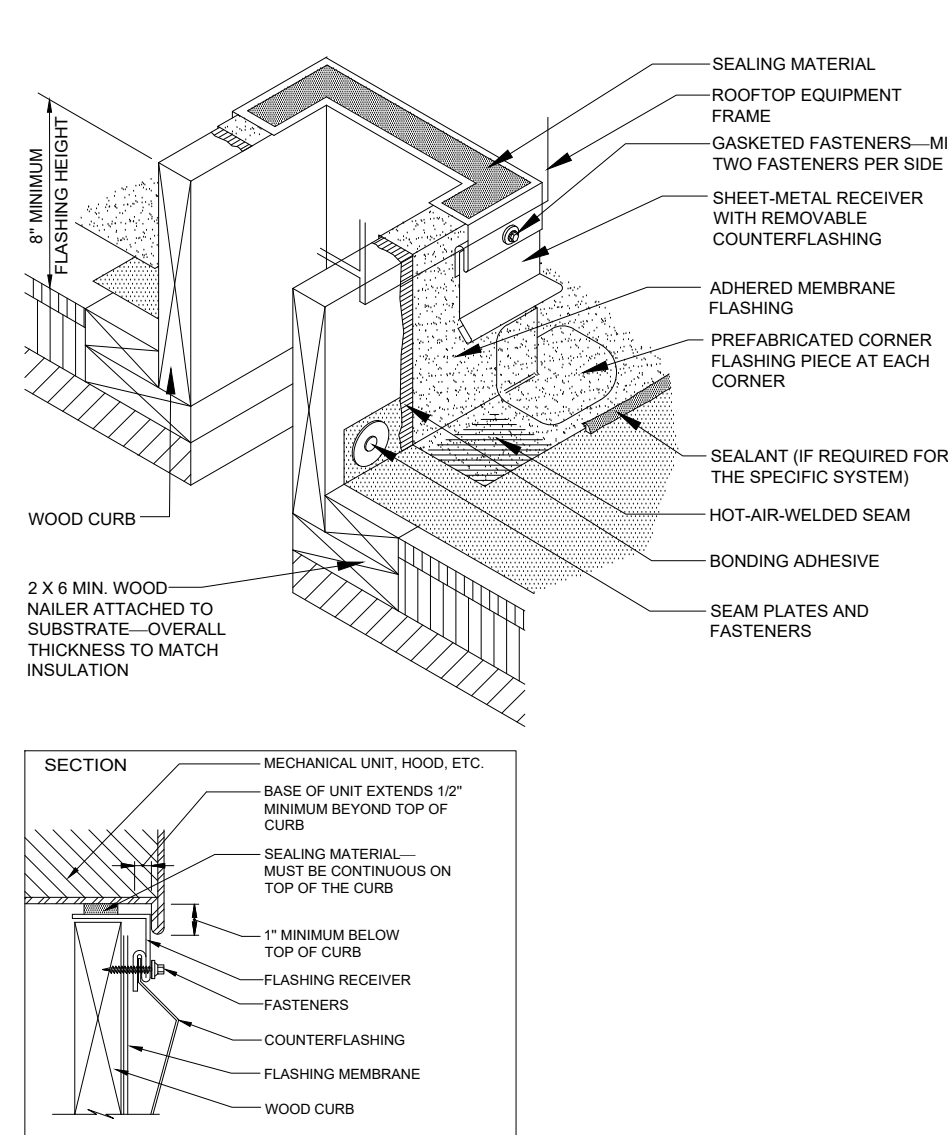
6 CAPPED ABANDONED CURB
NOT TO SCALE



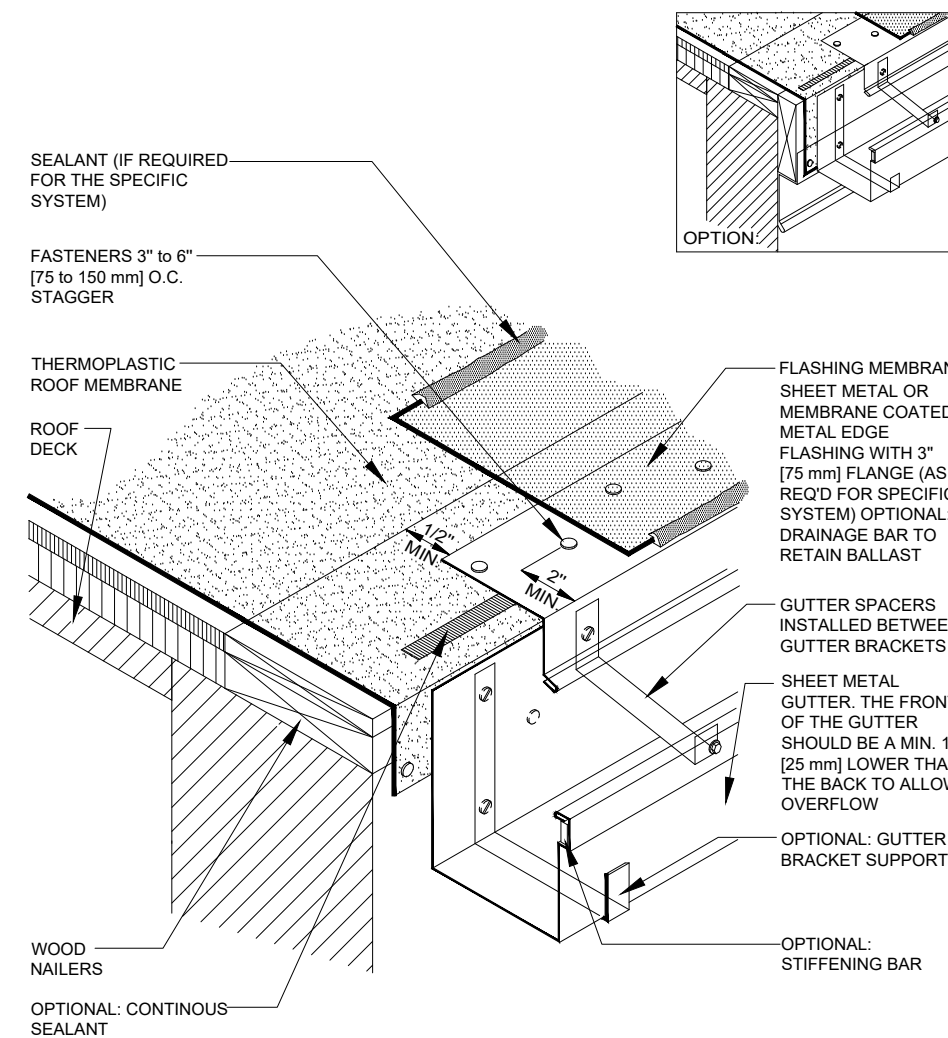
5 BASE FLASHING AT EXPANSION JOINT WITH METAL COVER
NOT TO SCALE



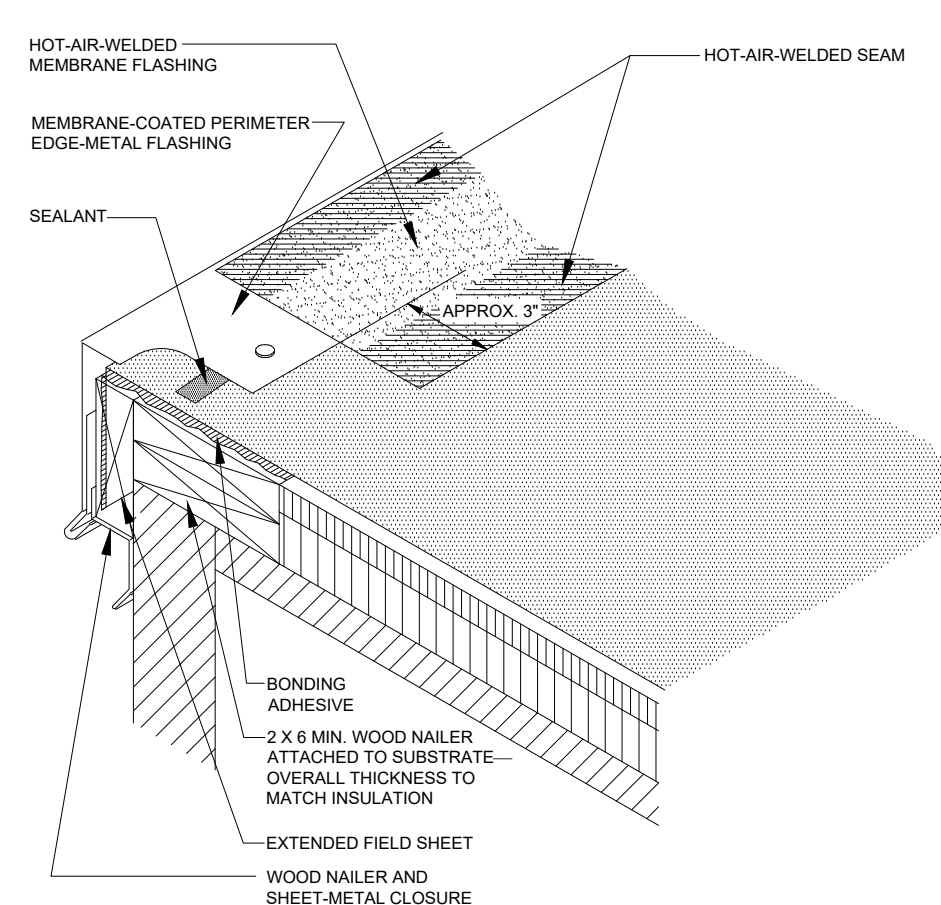
4 BASE FLASHING UNDER ROOF EDGE
NOT TO SCALE



3 BASE FLASHING AT WOOD CURB
NOT TO SCALE



2 GUTTER
NOT TO SCALE



1 DRAINING PERIMETER EDGE METAL WITH MEBRANE COATING
NOT TO SCALE